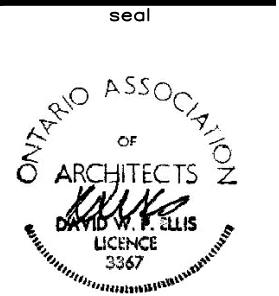


Washroom Renovations

Dr. Harold S. Trefry Memorial Centre

Richards Landing Ontario



not to be used for construction unless sealed and signed by the architect

Architect of Record: David Ellis Firm Name: david ELLIS architect inc. Certificate of Practice Number: 4391 267 Cathcart Street Studio 2 Sault Ste. Marie Ontario P6A 1E5 t. 705 253 4333 e. marie@ellisdesign.ca		Washroom Renovations Dr. Harold S. Trefry Memorial Centre Richards Landing Ontario																	
Name of Project: Washroom Renovation Dr. Harold S. Trefry Centre Richards Landing, St. Joseph Island		OBC Code Matrix																	
Item	Ontario Building Code (2012) Data Matrix	OBC Reference																	
1	Project Description: <input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Change of Use <input checked="" type="checkbox"/> Renovation	<input checked="" type="checkbox"/> Part 3 (A)1.1.2.																	
2	Major Occupancy(s) Group D, Business and Personal Services Separation of Major Occupancies - n/a	(B)3.2.2.55 (1) 3.2.2.55 Table																	
3	Building Area (m2) = Exist. 2,115 sq.ft. (196.5 m2)	(A)1.4.1.2.																	
4	Gross Area (m2) = 2,115 sq.ft. (196.5m2)	(A)1.4.1.2.																	
5	Number of Storeys Above grade 1 Below grade 0 Mezzanine 0	(A)1.4.1.2. & (B)3.2.1.1																	
6	Height of Building +/- 27'-0" above average grade (existing)	(B)3.2.2.10 & (B)3.2.5.																	
7	Number of Streets / Fire Fighter Access 2	(B)3.2.2.10 & (B)3.2.5.																	
8	Building Classification: Group D, up to 2 Storeys Combustible or Non-combustible Construction	(B)3.2.2.55.																	
9	Sprinkler System Proposed <input type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input checked="" type="checkbox"/> not required																		
10	Standpipe required <input type="checkbox"/> yes <input checked="" type="checkbox"/> not required	(B)3.2.9																	
11	Fire Alarm required <input type="checkbox"/> yes <input checked="" type="checkbox"/> not required	(B)3.2.4																	
12	Water Service/Supply is Adequate <input checked="" type="checkbox"/> yes <input type="checkbox"/> no	(B)3.2.5.7																	
13	High Building <input type="checkbox"/> yes <input checked="" type="checkbox"/> no	(B)3.2.6																	
14	Permitted Construction <input type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-Combustible required <input checked="" type="checkbox"/> Both <input type="checkbox"/> Combustible <input type="checkbox"/> Non-Combustible <input checked="" type="checkbox"/> Both	(B)3.2.2.43																	
15	Mezzanine(s) : No	(B)3.2.1.1 (3)-(8) (B)3.2.8.2 (6)																	
16	Occupant load based on design of building = 18 persons: Total Building Occupancy: Load 18 persons	(B)3.1.17. (Remarks)																	
17	Barrier-free Design <input checked="" type="checkbox"/> yes <input type="checkbox"/> no																		
18	Hazardous Substances <input type="checkbox"/> yes <input checked="" type="checkbox"/> no	(B)3.3.1.2 & 3.3.1.19.																	
19	<table border="1"> <tr> <th>Required Fire Resistance Rating (FRR)</th> <th>Horizontal Assemblies FRR (Hours)</th> <th>Supporting Members FRR (Hours)</th> <th>Vertical (Demising Walls) FRR (Hours)</th> </tr> <tr> <td>Floors .75 Hour</td> <td>Floors .75 Hour</td> <td>Floors .75 Hour</td> <td>Walls .0 Hour</td> </tr> <tr> <td>Roof 0 Hour</td> <td>Roof 0 Hour</td> <td>Roof 0 Hour</td> <td>Roof 0 Hour</td> </tr> <tr> <td>Structure 0 Hour</td> <td>Structure 0 Hour</td> <td>Structure 0 Hour</td> <td>Structure 0 Hour</td> </tr> </table>	Required Fire Resistance Rating (FRR)	Horizontal Assemblies FRR (Hours)	Supporting Members FRR (Hours)	Vertical (Demising Walls) FRR (Hours)	Floors .75 Hour	Floors .75 Hour	Floors .75 Hour	Walls .0 Hour	Roof 0 Hour	Roof 0 Hour	Roof 0 Hour	Roof 0 Hour	Structure 0 Hour	Structure 0 Hour	Structure 0 Hour	Structure 0 Hour	(B)3.2.2.55	
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Structure 0 Hour	Structure 0 Hour	Structure 0 Hour	Structure 0 Hour																
20	Water Closet Count: <table border="1"> <tr> <th>Business and Personal Services</th> <th>W.C.s Required</th> <th>W.C.s Provided</th> </tr> <tr> <td>Males 1</td> <td>1</td> <td>0</td> </tr> <tr> <td>Females 1</td> <td>1</td> <td>0</td> </tr> <tr> <td>Adult Unisex 1</td> <td>1</td> <td>2</td> </tr> </table>	Business and Personal Services	W.C.s Required	W.C.s Provided	Males 1	1	0	Females 1	1	0	Adult Unisex 1	1	2	(B)3.7.4.7 (1) Existing washrooms are being renovated to accommodate current OBC requirements for Barrier Free washroom requirements.					
Business and Personal Services	W.C.s Required	W.C.s Provided																	
Males 1	1	0																	
Females 1	1	0																	
Adult Unisex 1	1	2																	
21	Exit Width Calculation: Occ. Load = 18 persons Doors/corridors at 6.1mm/person	Exit Width Required 109 mm	Exit Width Provided Existing 1830 mm																

List of Drawings

- a0.0 Title Page, OBC Matrix, Door Schedule
- a1.0 Removals - Floor Plans and Ceiling Plans
- a2.0 New Plans - Floor Plans and Ceiling Plans
- a3.0 Interior Elevations
- a3.1 Interior Elevations

DOOR SCHEDULE																		
OPENING			DOOR				FRAME				HARDWARE							
Ref. No.	No. of Leaves	Size	Type	Material	Finish	Rating	Elev. Type	Material	Finish	Sect. Type	Rating	Lever Lockset	Deadbolt	Threshold	Weatherstripping	Panic Set	Closer	Pr. Hinges
101-1	1	EX-36" x 84"	-	SOLID WOOD	CLEAR STAIN	-	1	EX-H.M.	PAINT	-	-	●					●	EX-1.5
102-1	1	EX-36" x 84"	-	SOLID WOOD	CLEAR STAIN	-	1	EX-H.M.	PAINT	-	-	●					●	EX-1.5

NOTES:

MODIFY EXISTING DOOR TO ACCEPT NEW LOCKABLE PRIVACY LEVER SET- AND CONNECT TO BARRIER FREE EMERGENCY OPERATOR SYSTEM.

OPTIONAL PRICE#1. PROVIDE NEW SOLID CORE WOOD DOORS, SIZE AND COLOUR TO MATCH EXISTING. RE-USE EXISTING HINGES AND POWER DOOR OPERATOR. PROVIDE NEW LOCKABLE PRIVACY LEVER SET MODEL NUMBER: NDBOPD

GENERAL NOTES:

ALL WORKMANSHIP AND CONSTRUCTION MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE ONTARIO BUILDING CODE.

CONTRACTOR TO VERIFY ALL DIMENSIONS AND REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT.

NO PERSON SHALL MAKE A MATERIAL CHANGE OR CAUSE A MATERIAL CHANGE TO BE MADE TO A PLAN, SPECIFICATION, DOCUMENT OR OTHER INFORMATION ON THE BASIS OF WHICH A PERMIT WAS ISSUED WITHOUT NOTIFYING AND OBTAINING THE AUTHORIZATION OF THE CHIEF BUILDING OFFICIAL.

CONTRACTOR SHALL CHECK FOR ALL UNDERGROUND SERVICE LOCATIONS PRIOR TO DEMOLITION OR EXCAVATION AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING SERVICES.

WALL TYPES PROVIDED ON THESE PLANS ARE FOR GENERAL CONSTRUCTION. CONTRACTOR SHALL REVIEW PLANS, AND DETAILS FOR MOST STRINGENT REQUIREMENTS.

PATCH AND REPAIR ALL SURFACES AFFECTED BY REMOVALS TO A LIKE NEW CONDITION READY FOR NEW FINISHES. PATCH AND RESTORE FINISHES AT ALL PENETRATIONS REQUIRED FOR NEW WORK, SUCH AS PIPING, WIRING, LINTELS, ETC.

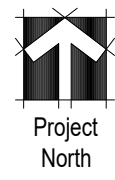
PROVIDE ALL SOLID BLOCKING IN WALLS AS REQUIRED BY O.B.C. FOR GRAB BARS AND WASHROOM ACCESSORIES, ETC.

project
 Washroom Renovation for
 Dr. Harold S. Trefry Memorial Centre
 Richards Landing, Ontario
 david ELLIS architect inc.
 255 pjm st sault ste. marie ontario p6b 2l3 ph: 705 253 4333 fax: 705 253 4332 email: ellis@ellisdesign.ca

drawing
 Title Page
 Matrix
 General Notes
 scale NTS
 checked by d.ellis
 date April 17, 2023
 drawn by d.ellis
 project number 22-18

drawing number
 a0.0

All measurements to be confirmed in field by Contractor. Errors and omissions to be reported to Architect, Interior Designer, or Engineer prior to construction. This work is confidential to david ELLIS architect inc. architect and interior designer and not to be reproduced without written permission.



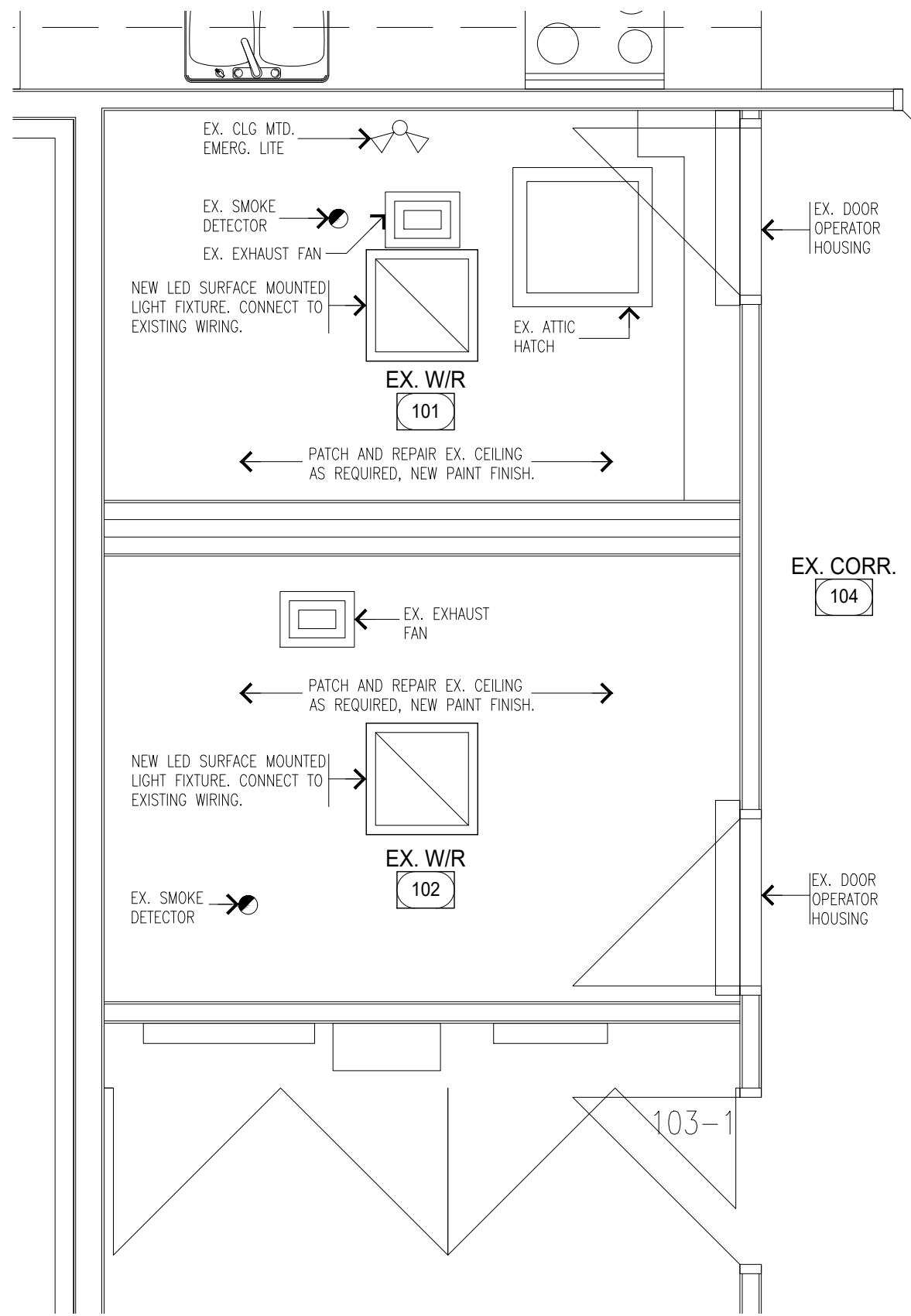
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Richards Landing, Ontario
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ontario p6b, 213 255 pim st
sault ste. marie ontario p6b, 213 705 253 4333 fax: 705 253 4332 email: ellis@ellisdesign.ca

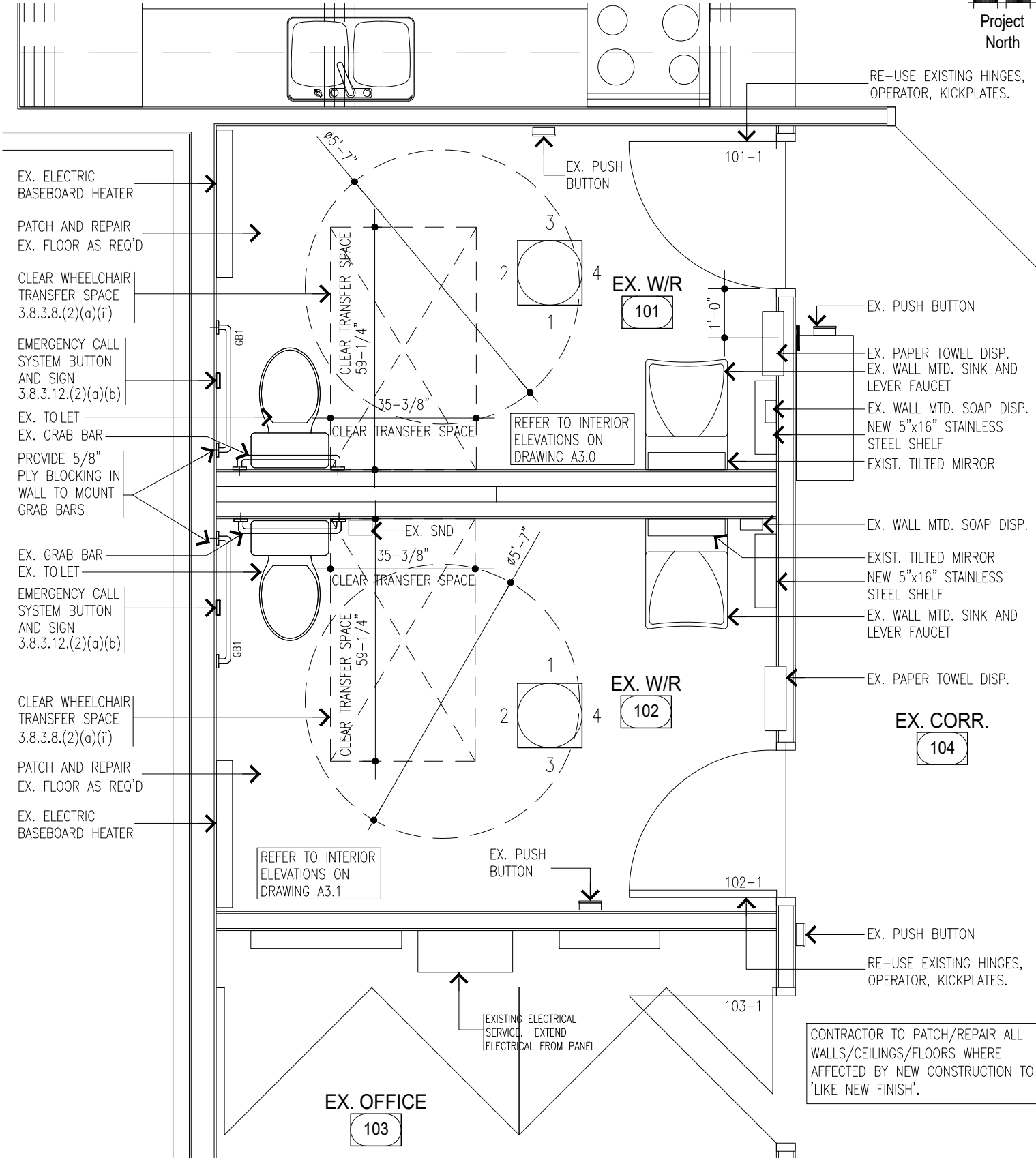
revisions
Dec. 20/18-issued for Final Review
All measurements to be confirmed in field by Contractor. Errors and omissions to be reported to architect, Interior Designer, or Engineer prior to construction. Responsibility for coordination of all work remains with the General Contractor.
This work is submitted to david ELLIS architect inc. architect and Interior Designer and not to be reproduced without written permission.

drawing number
New Floor Plan
and Ceiling
Plan
scale
3/8"=1'-0"
date
April 27, 2023
project number
22-18
checked by
d ellis
drawn by
dmh/oh

drawing number
a2.0

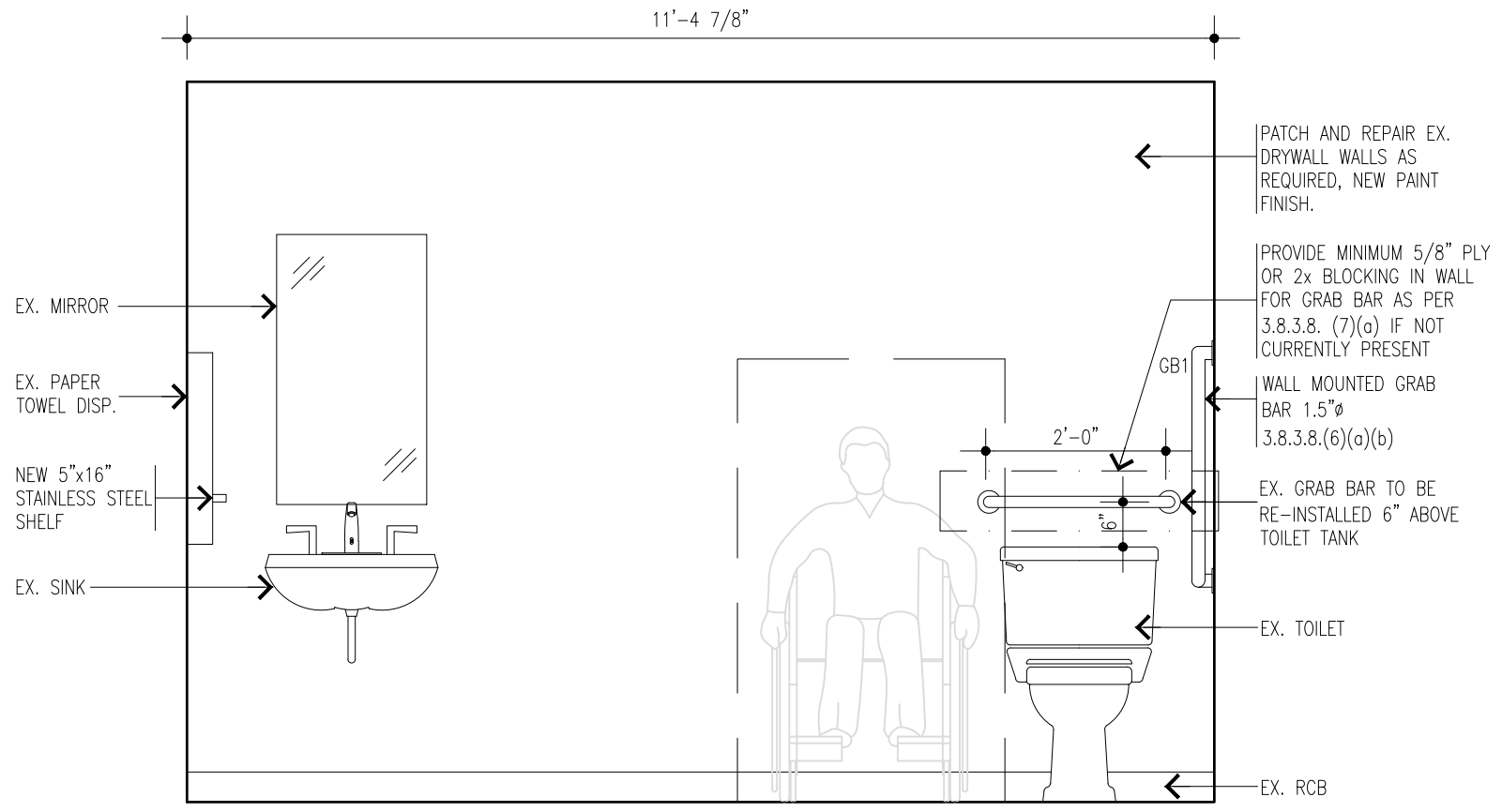


New Ceiling Plan
Scale 3/8" = 1'-0"

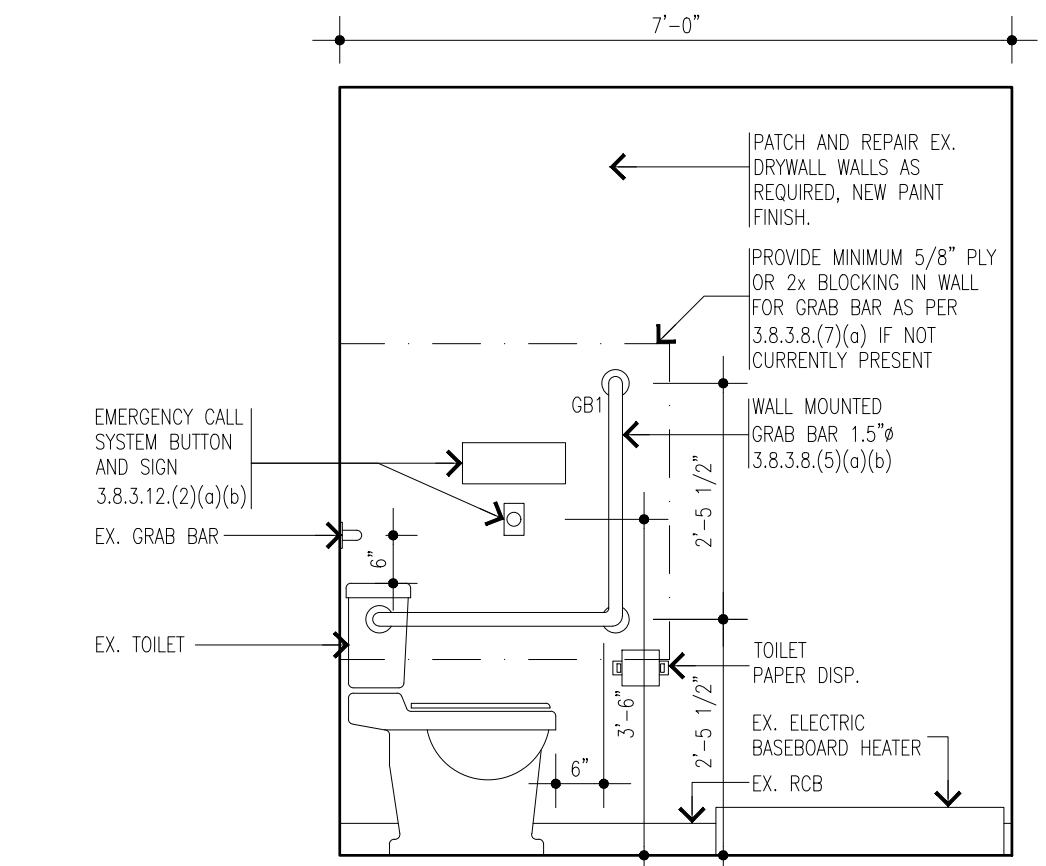


New Floor Plan
Scale 3/8" = 1'-0"

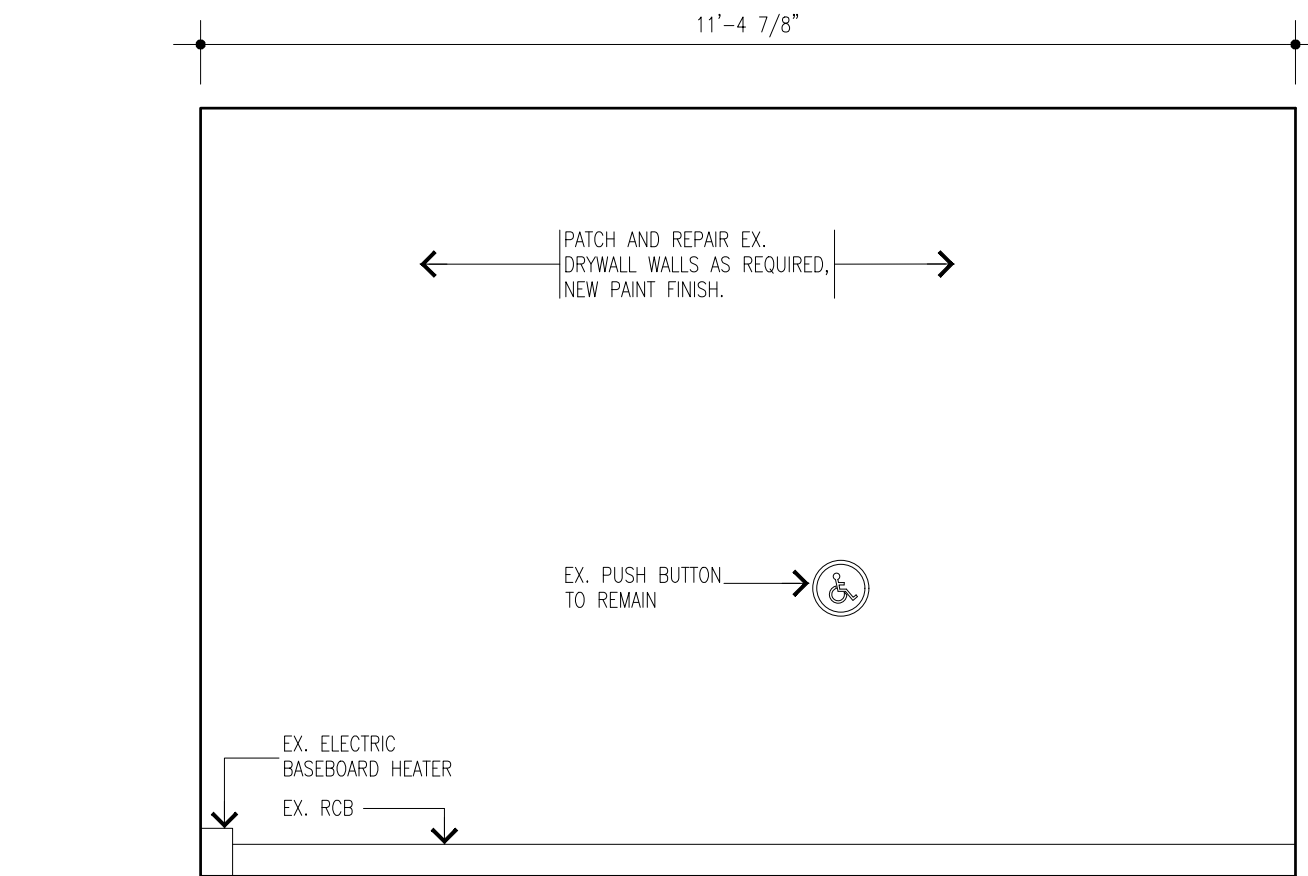
CONTRACTOR TO PATCH/REPAIR ALL WALLS/CEILINGS/FLOORS WHERE AFFECTED BY NEW CONSTRUCTION TO 'LIKE NEW FINISH'.



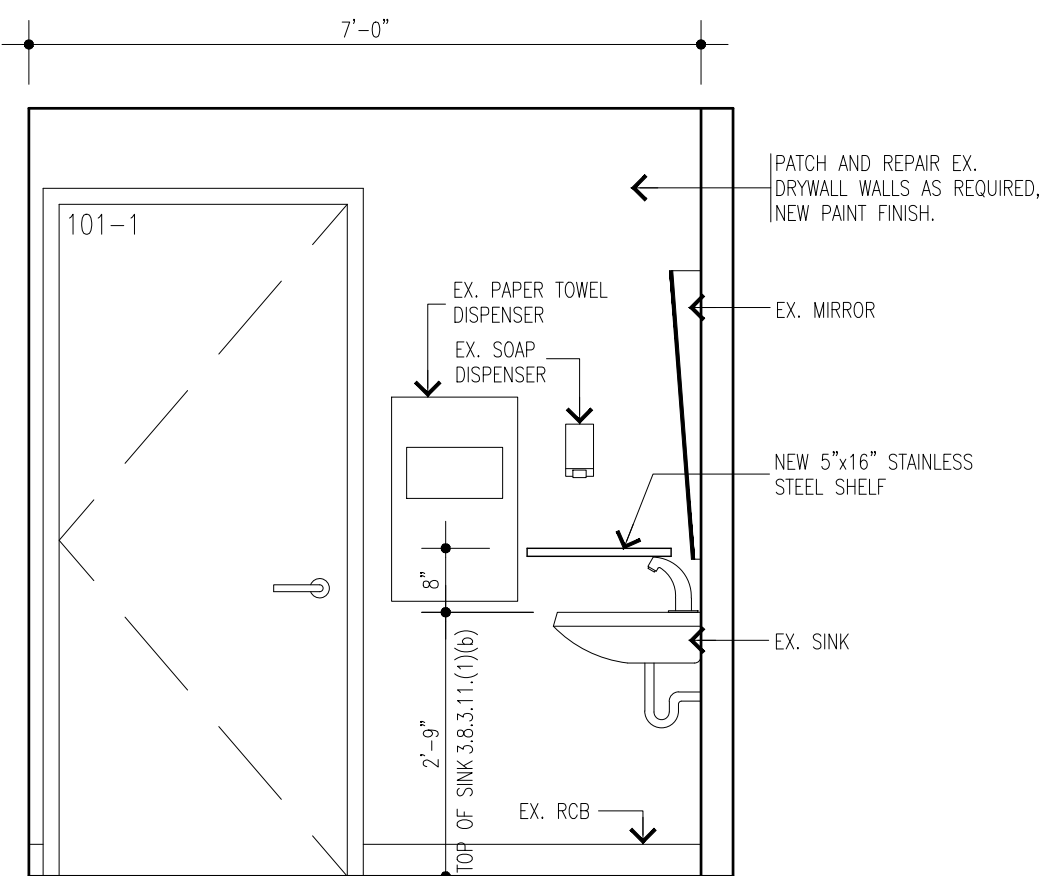
Elevation 1 - Washroom 101



Elevation 2 - Washroom 101



Elevation 3 - Washroom 101



Elevation 4 - Washroom 101



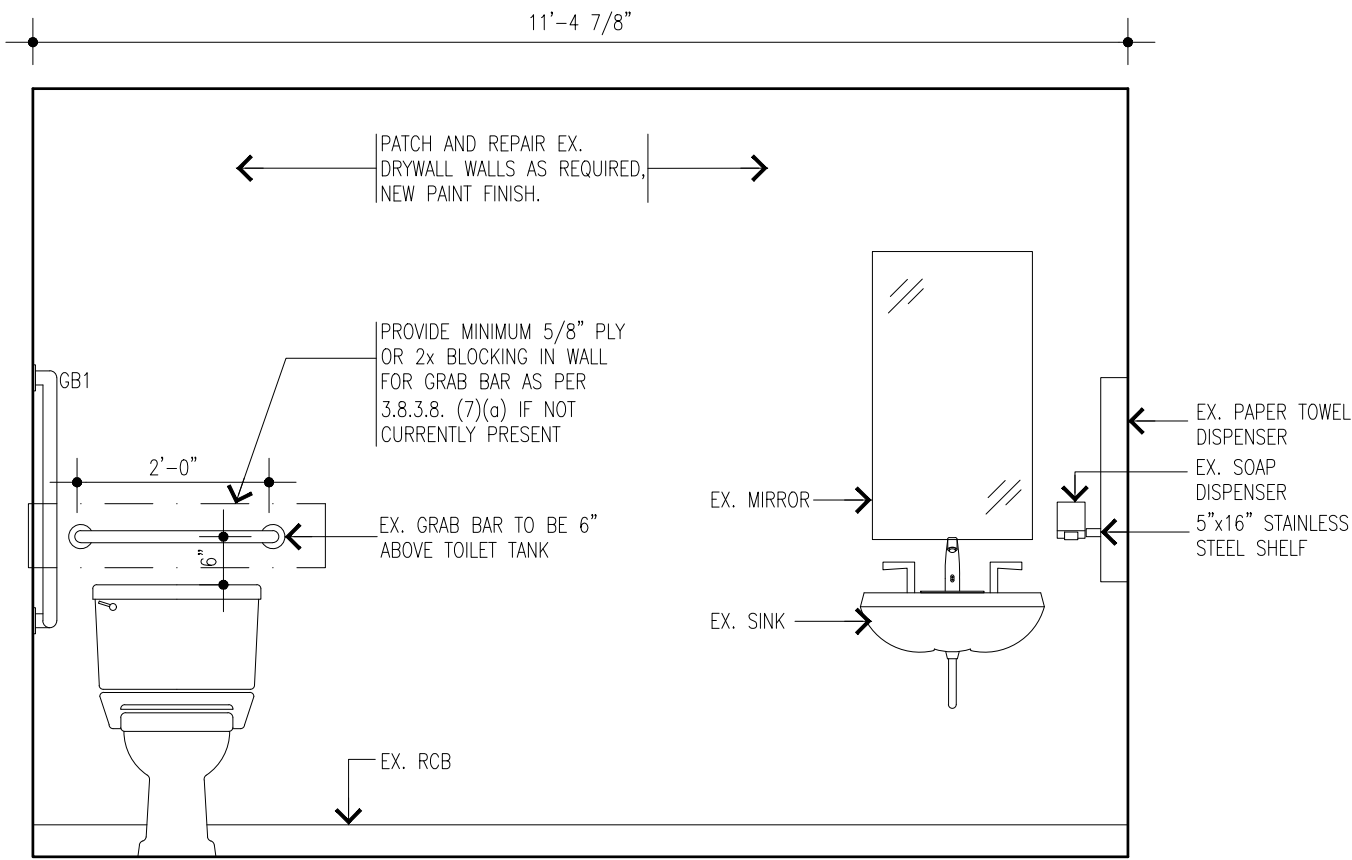
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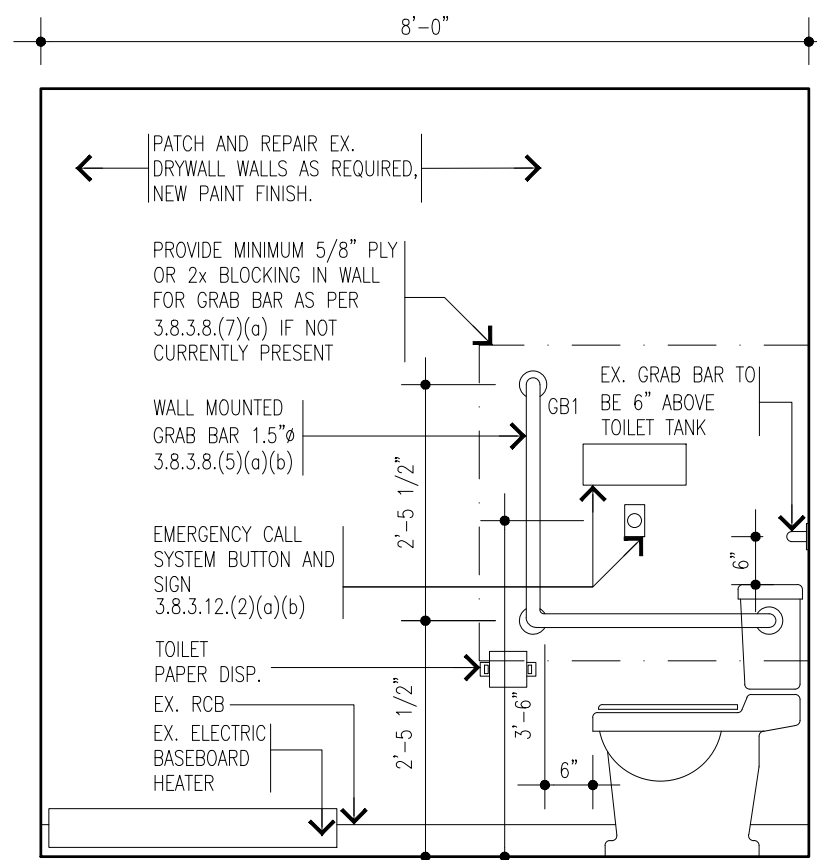
revisions
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drawing number	Interior Elevations
scale	1/2"=1'-0"
checked by	d ellis
drawn by	dmb/oh
date	April 27, 2023
project number	22-18

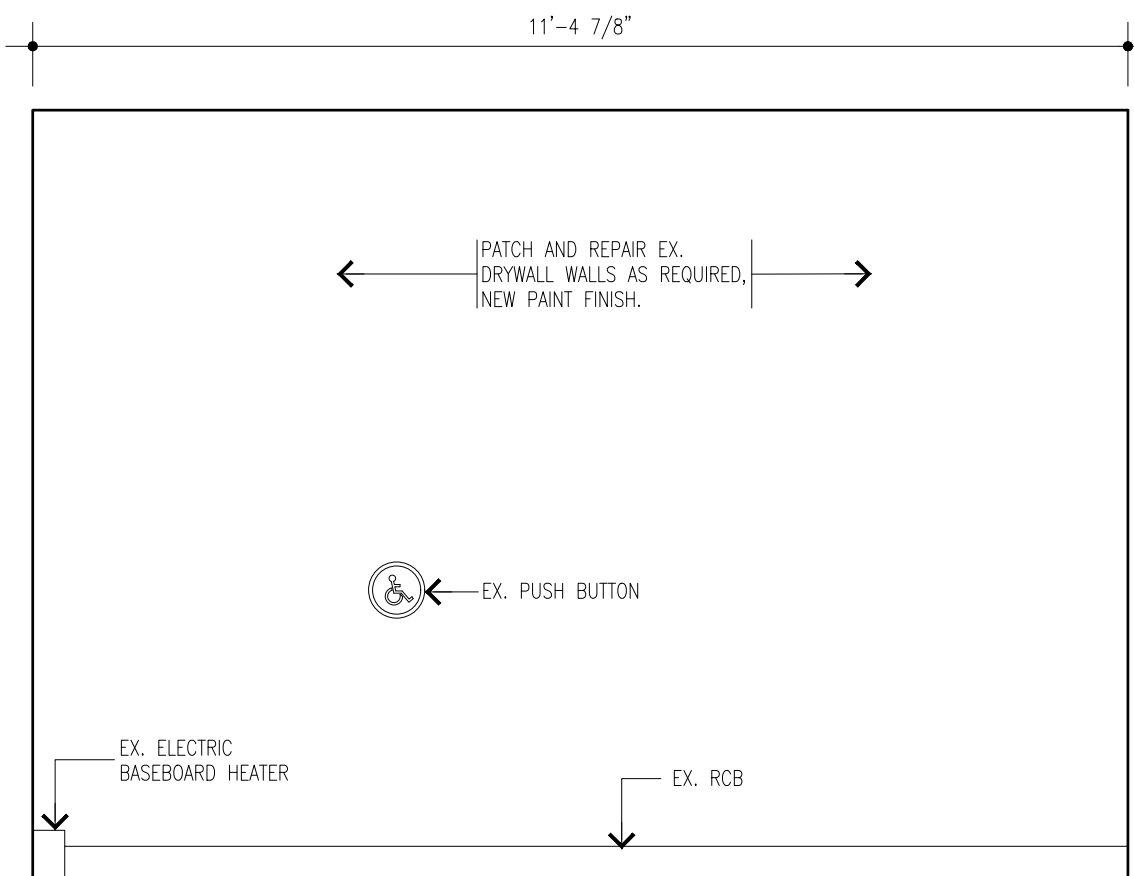
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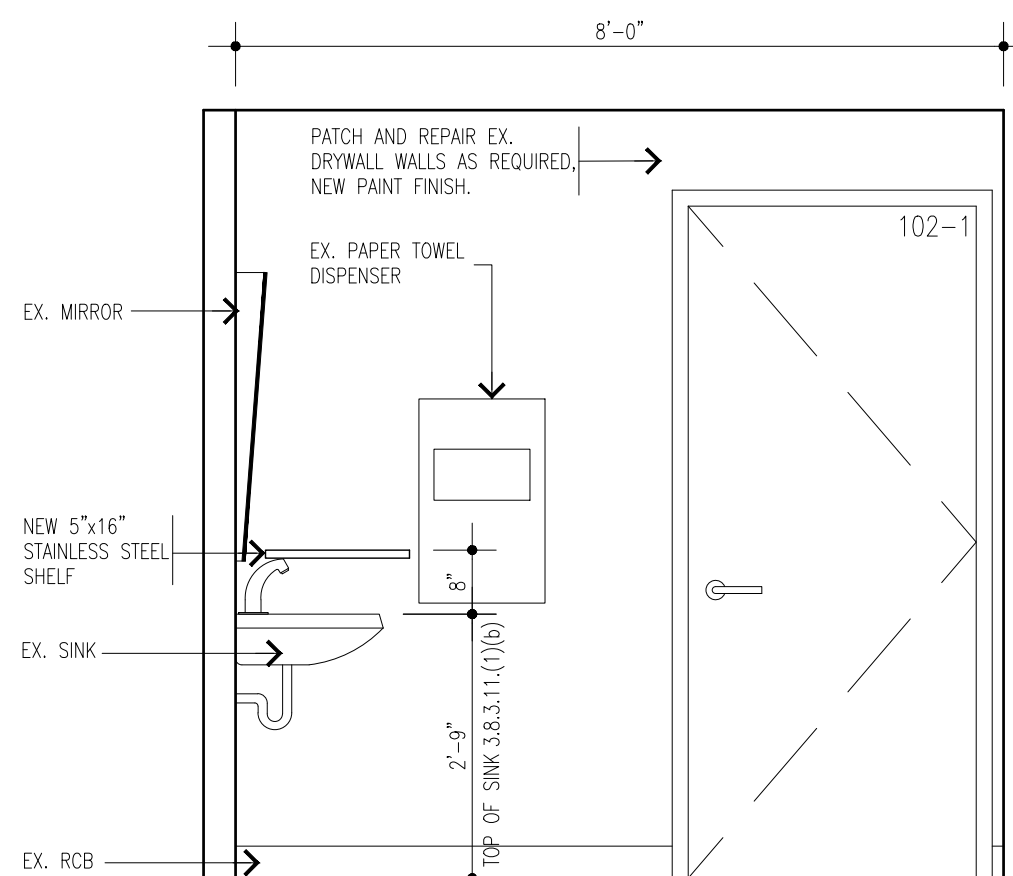
Elevation 1 - Washroom 201



Elevation 2 - Washroom 201



Elevation 3 - Washroom 201



Elevation 4 - Washroom 201



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project
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drawing
Interior Elevations
 scale
 1/2"=1'-0"
 date
 April 27, 2023
 project number
 22-18
 checked by
 d. ellis
 drawn by
 dmh/dh